

# Design Guidelines

## Stock Creek Development Centre



FEBRUARY 29, 1988



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## INTRODUCTION

These **Design Guidelines** for the Stock Creek Development Centre are provided to assist in developing Conceptual Site Use Plans for approval by the Industrial Development Board of Blount County, Tennessee Design Control Committee (DCC). **The Design Guidelines** supplement the Declaration of Covenants, Conditions and Restrictions to which they are attached. These **Design Guidelines** along with the said Declaration have been developed to insure the maintenance of a high quality environment, preserving the attractiveness of the Stock Creek Development Centre (SCDC) workplace.

These Guidelines apply to all properties in the Stock Creek Development Centre. However, these requirements are in addition to the Southern Building Code, The National Electric Code, and any other local, state, or federal agency requirements. In the event of a conflict, the most restrictive requirement will govern.

The sketches which accompany the **Design Guidelines** are intended to illustrate the desired character of the site development. The Master Plan for the Stock Creek Development Centre is included for reference. The Master Plan and these sketches are a guide for development and intended to provide the opportunity for creative designs. Extensive earthwork will be discouraged.

## DESIGN GUIDELINES

### A. GENERAL STANDARDS

The purpose of the Design Guidelines is to provide for orderly and aesthetically pleasing development of the Stock Creek Development Centre. Designs shall be reviewed for compatibility with the unspoiled farm - like setting of the site.

**SETBACKS** Normal minimum setbacks are 100 feet from a public street and 50 feet from side and rear property lines.

**TEMPORARY STRUCTURES** Temporary Buildings or other temporary structures are not permitted on any Building Site; except as bona fide required for efficient construction purposes, and then only during the reasonable construction period of a permanent Building. Such structures shall be placed as inconspicuously as possible, shall cause no inconvenience to other Owners or Occupants, and shall be removed not later than fourteen (14) days after the date of completion or date of occupancy of the Building(s) (which ever date is first) in connection with which the temporary structure was used.

**ACCESSORY BUILDINGS** Accessory buildings are to be located at least 25 feet from a principal building and shall be of similar or compatible design and materials.

**MINIMUM LOT WIDTH** Minimum lot width is 200 feet measured along the required front street setback line.

**MAXIMUM BUILDING COVERAGE** Total floor area of all buildings is not to exceed 1/3 of the total lot area.

**ROOFING COMPONENTS** Ordinarily adequate structural components must be furnished to impede the view of any metal roof deck. Should the site not lend itself to that restriction, a roof system of building materials as approved by the DCC must be provided for in building plans and specifications.

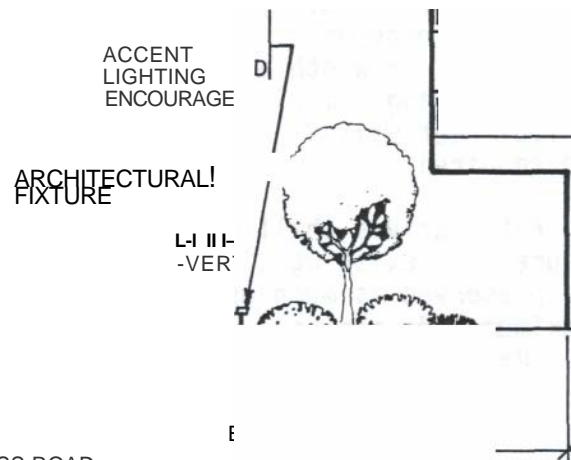
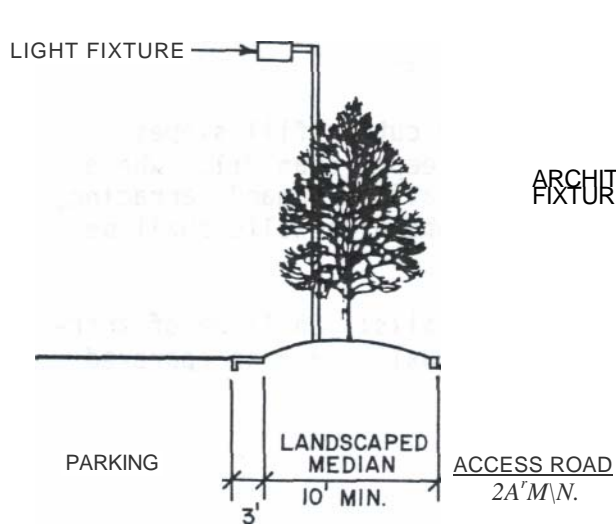
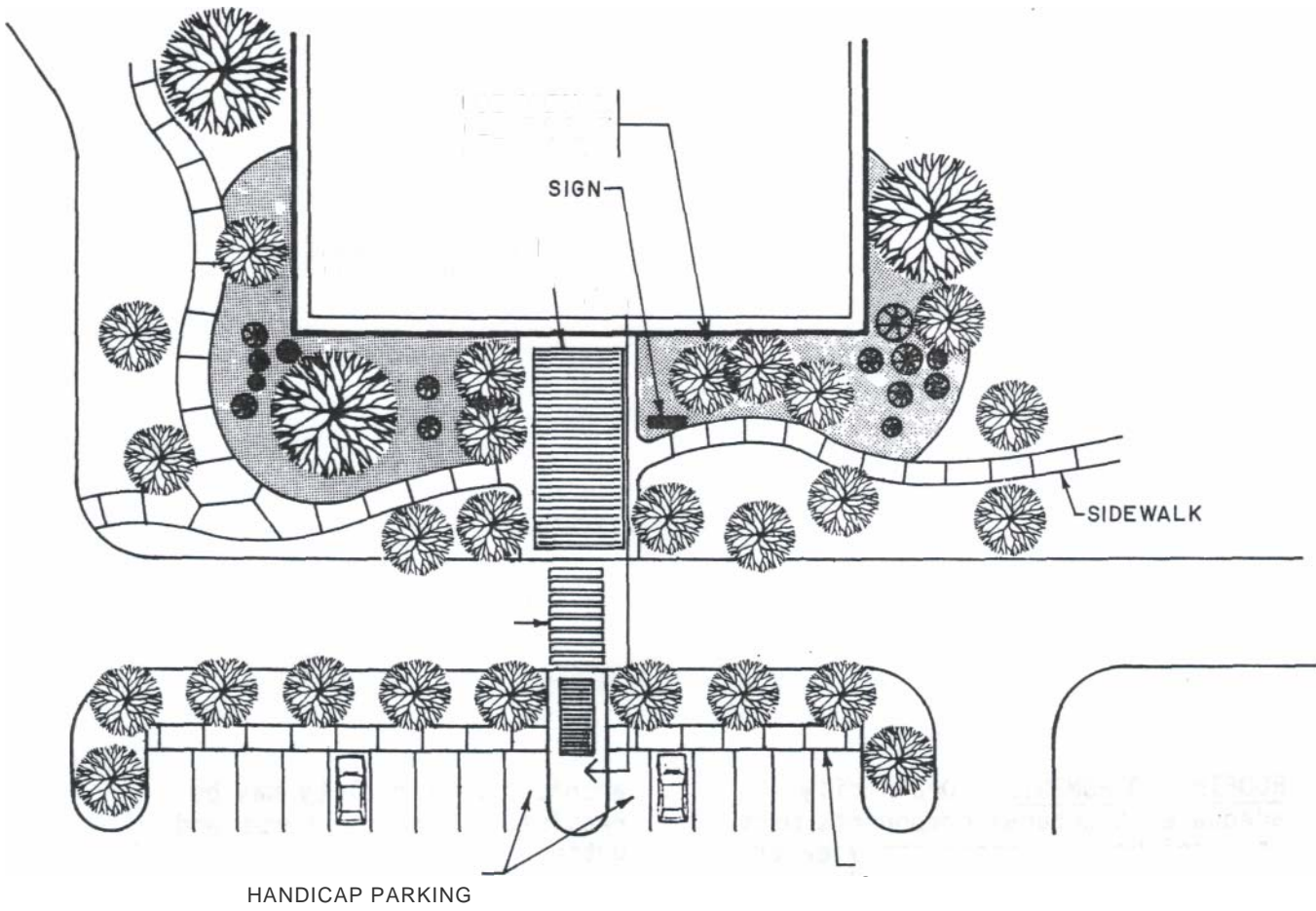
**SITE ENTRANCE ZONES** Adequate site distances will be maintained at site entrance for traffic safety. Where drive pavement exceeds twenty-four (24) feet in width a landscaped median having a minimum width of ten (10) feet will ordinarily be required..

**ENTRY DRIVES** Entry drives shall be graded to ensure that existing vegetation is preserved as much as possible. Maximum side slopes shall be 3:1. Retaining walls of architectural quality may be required. Concrete curbs and gutters are to be used along all edges of entry drives. Vertical curbs may be used for landscaped median and interior parking.

**SITE GRADING** Extensive grading at the Stock Creek Development Centre will be discouraged. Lot grading will be done in such a way as to preserve topographic features. All site grading will meet the following standards:

Slopes: No cut or fill slopes shall be steeper than 3:1. Where space limitations demand terracing, approved retaining walls shall be utilized.

Retaining Walls: Shall be of architectural quality and as approved.



Berms, Channels, Swales: Shall be designed with smooth vertical transitions between changes in slope.

PARKING AREAS Except as permitted by the DCC, no parking shall be located closer than 50 feet from public right of ways nor closer than 50 feet to side property lines nor 25 feet to rear property lines. Bermed and landscaped medians ten (10) feet in width will be provided for every parking bay. Landscaped medians will also be provided between parking areas and service drives. Medians will be used to provide grade transitions.

All parking visible from public roads shall be screened as well as practicable from view by the use of earth berms or landscaping materials.

A landscaped area having a minimum width of twenty-five (25) feet will be provided between buildings and roadways, service drives or parking areas. No more than 50 percent of the front yard may be used for parking. No parking or loading will be permitted on any street or road, either public or private, or at any place other than paved parking or loading areas. Each owner shall be responsible for compliance of their employees.

LANDSCAPING Owner or lessee shall landscape that portion of his property between building or buildings and the curb line of abutting streets and shall remove undergrowth, weeds, debris and any other unsightly materials from the remainder of the property at his own expense. Each owner or lessee in SCDC shall maintain his, her, its landscaping in a safe, clean and attractive condition. Parking areas shall contain 500 square feet of landscaping for every 20,000 square feet or fraction thereof paved parking area. Parking areas located closer than fifty (50) feet to public rights of way or adjacent property lines shall be screened by evergreen planting that will obtain a minimum height of five (5) feet at maturity. For each 5,000 square feet of parking area a tree shall be provided that will obtain a minimum height of forty (40) feet at maturity.

TREES Owners and lessees in SCDC shall exert their best efforts to preserve the natural beauty of their respective properties. No existing trees shall be destroyed without written permission of the DCC.

HEIGHT Prior to construction or alteration of any structure in SCDC, the owner or lessee involved shall file Notice of Structure Height with DCC. This height shall be determined compatible with SCDC design objectives and relationships with adjoining properties.

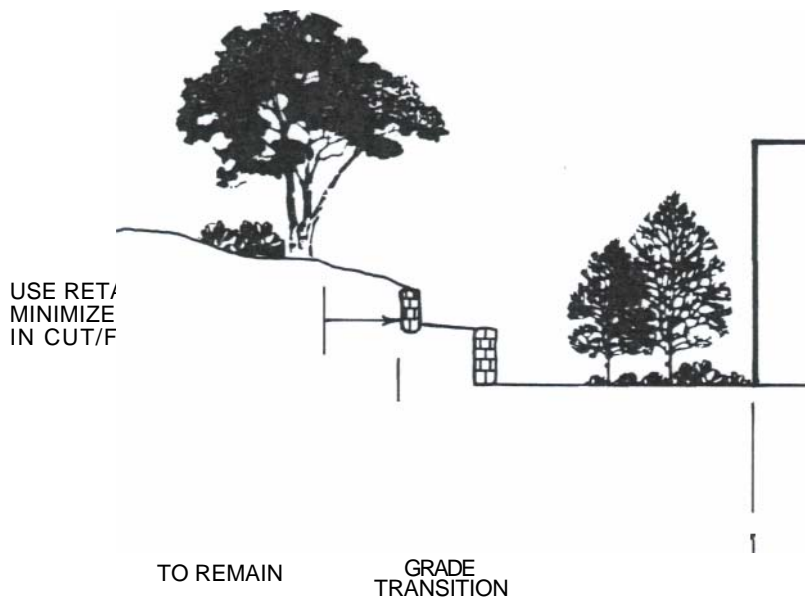
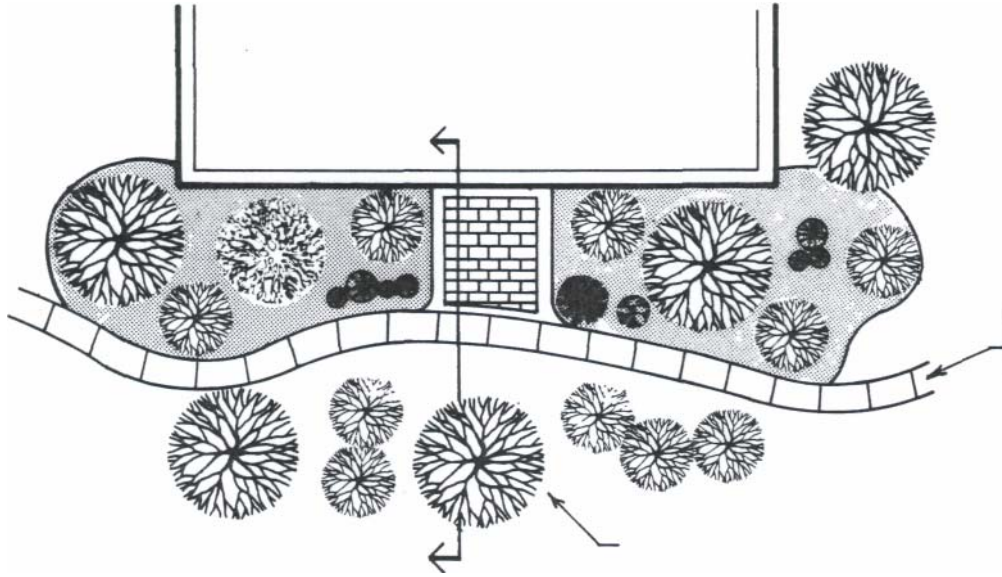
LIGHTING Area lighting shall be " arranged so that the direct source of lighting is away from adjacent streets and residential districts.

Site lighting shall provide uniform illumination having the following minimum: 0.5 foot candles for parking lots, 0.25 foot candles for driveways.

Security lighting shall be restricted to lighting only loading and storage locations or similar service areas. Lighting shall not project above the fascia or roof line.

Parking lot fixtures shall be cutoff type, high pressure sodium, rectilinear style, aluminum extrusion luminaire, thirty (30) foot mounting height, single or double luminaire configuration on square pole. Luminaire and pole shall have dark bronze anodized finish.

PATHS SHOULD  
PROVIDE ACCESS  
TO PARKING SITE



USE RET/  
MINIMIZE  
IN CUT/F

TO REMAIN

GRADE  
TRANSITION

Accent lighting and lighting of all pedestrian walkways is recommended..

LOADING AND UNLOADING For each facility at least one loading and unloading space shall be provided. Loading and unloading space shall be located in other than the front yard. Loading areas shall not encroach into setback areas or be visible from any public road unless specifically approved by DCC in writing. Loading docks shall be setback and screened to minimize the effect of their appearance on neighboring Building Sites.

CONSTRUCTION AND APPEARANCE All buildings constructed in SCDC, shall conform to the standards required by the National Electric Code and the Southern Standard Building and Plumbing Codes or their successors or enforced by Blount County, Tennessee and to the health department regulations of Blount County or the State of Tennessee.

Approval of exterior materials including type, texture, color, and durability shall be at the discretion of the DCC. Materials shall conform to the guidelines specified herein. Persons interested in locating in the Stock Creek Development Centre should contact the DCC early in the architectural design of their project. Building design and construction shall be such that all building sides shall be equally attractive. Special attention to the aesthetic appeal of building fronts should not be accomplished at the expense of building side and rear elevations.

Roof surface materials shall be reviewed considering their effects on the views of other Stock Creek Development Centre Sites. Rooftop mechanical equipment shall be screened in a manner which prevents obstruction of views of other sites and structures.

FENCING All fencing materials, locations and heights shall be as approved by the DCC. Chain link fences will not be permitted in areas visible to adjacent sites.

UTILITY EASEMENTS All utility easements shall be kept free of all structures and the removal of any obstruction by a utility company shall in no way obligate the utility company in damages or to restore the obstruction to its original form.

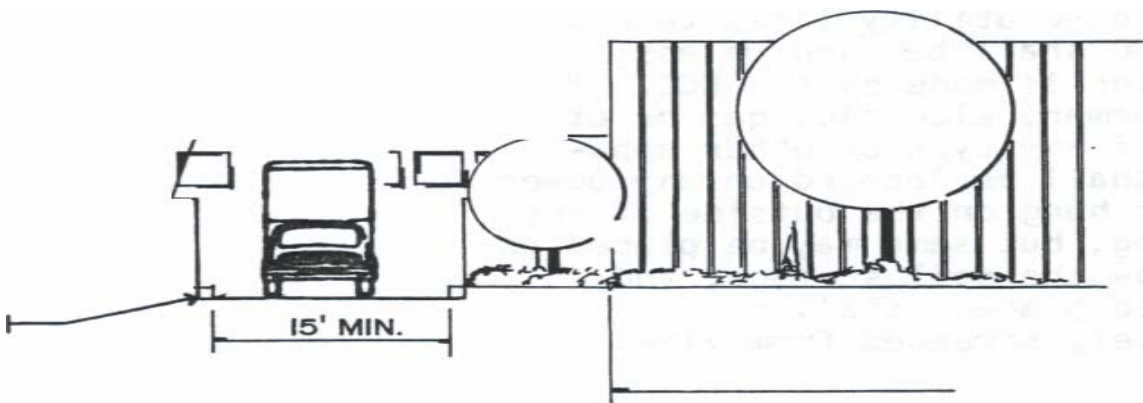
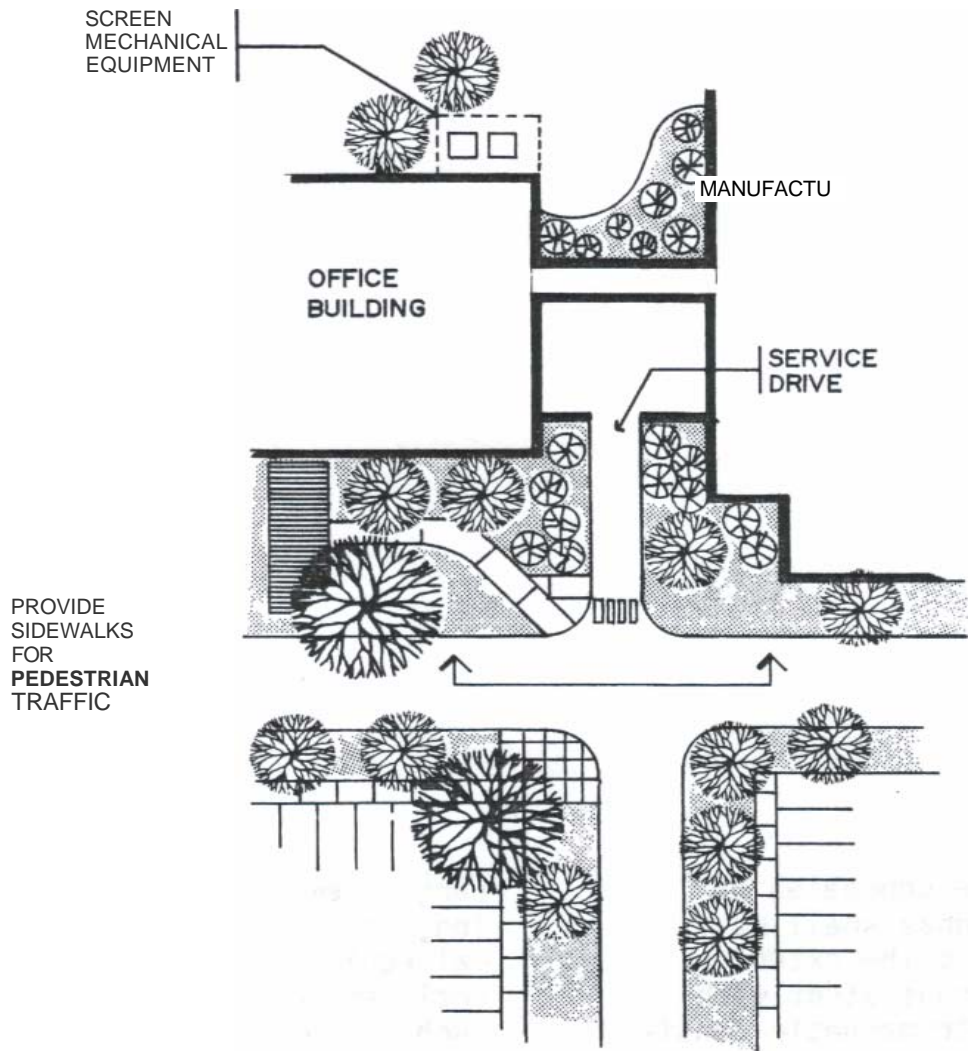
SERVICE SCREENING. STORAGE AREAS Garbage and refuse containers shall be concealed and contained within the Buildings, or shall be concealed by means of a screening wall of material similar to and compatible with that of the Building. These elements shall be integral with the concept of the Building plan, be designed so as not to attract attention, and shall be located in the most inconspicuous manner possible. Unless specifically approved by the Committee in writing, no materials, supplies or equipment shall be stored in any area on a Building Site except inside a closed Building, or behind a visual barrier, screening such areas so that they are not visible from neighboring Building Sites, Common Areas or public streets.

STREETS, DRIVES, CURBS, AND WALKS Streets, drives, curbs, and walks shall be constructed or altered in accordance with plans and specifications submitted to and approved in writing by the Committee.

MECHANICAL EQUIPMENT, ROOF PROJECTION All mechanical equipment, utility meters, and storage tanks shall be located in such a manner so as not to be visible to the general public or from other Building Sites or Common Areas. If concealment within the Building is not possible, then such utility elements shall be concealed by screening. Antennae shall be visually masked to the extent practicable and consistent with appropriate electromagnetic considerations.

Penthouses and mechanical equipment screen walls shall be of a design and materials similar to and compatible with those of the Building. Underground utility lines throughout SCDC shall be used unless exception is made by the DCC. No transformer, electric, gas or other meter of any type or other apparatus shall be located on any power pole or hung on the outside of any Building, but same may be placed on or below the soil surface, and where so placed, shall be adequately screened from view.

Large items such as air conditioning, ventilating or other mechanical equipment shall be screened or enclosed in such manner as to mask such equipment. If this is impossible or impractical, such elements shall be organized in an orderly manner in accordance with written approval of the DCC. Projections shall be compatible with the Building.



## B. PERFORMANCE STANDARDS

The purpose of these performance standards is to insure that each member of the Stock Creek Development Centre strives to design a facility which will in no way disturb or interfere with neighboring properties. Also, these standards are provided to insure that an attractive environment is maintained.

FIRE AND EXPLOSION HAZARDS All activities shall be carried on only in structures which conform to the standards of the National Board of Fire Underwriters concerning the plant operation and storage of explosive raw materials, fuels, liquids and finished products.

RADIOACTIVITY All activities located within this zone shall comply with Title 10, Chapter 1, Part 20, Code of Federal Regulations, "Standards for Protection Against Radiation."

SMOKE, FUMES, GASES, DUST, ODORS There shall be no excessive emission of any smoke, fumes, gas, dust or odors. These and any other atmospheric pollutant which is detectable to the human senses at the boundaries of the lot occupied by such use is prohibited. In any case, the limit of such emission of air pollutants shall be subject to the approval ^or acceptance by the DCC.

VIBRATION There shall be no vibration which is discernible to the human sense of feeling beyond the immediate site on which such use is conducted.

NOISE There shall be no operational industrial noise measured from any point on the property line of the lot on which the industrial operation is located which shall exceed the values given in the following table in any octave band of frequency. The sound pressure level shall be measured with a Sound Level Analyzer that conforms to specifications published by the "American Standard Sound Level Meters for Measurements of Noise and Other Sounds" Z24.3-1944, American Standards Association, Inc., New York, New York and "American Standard Specifications for an Octave Band Filter Set for the Analysis of Noise and Other Sounds" Z24-10-1953, American Standards Association, Inc., New York, New York.

Frequency Band in Cycles per Second
0- 75
75- 150
150- 300
300- 600
600-1200
1200-2400
2400-4800
Above 4800

Sound Pressure Level Decibels

65  
50  
44  
38  
35  
32  
29  
26

**LIQUID OR SOLID WASTES** The discharge of untreated industrial wastes into a stream or open or closed drain is prohibited. All methods of sewage and industrial waste treatment and disposal shall be approved by the Blount County and Tennessee Department of Health and Environment. More specifically, all sanitary and process liquid waste must be discharged into the sanitary sewer system. The volume, quality and strength of all liquid waste shall be discharged into the sewer in strict accordance with the regulations of the Maryville Utilities Board and/or any and all other applicable governmental regulations.

**SITE DRAINAGE** No driveways, walks, parking areas, etc., may be constructed across any drainage ditch, channel or swale without providing adequate culverts or waterway openings for natural drainage. Such culverts, etc., shall provide the minimum waterway opening and shall be at the proper gradient. No rain and stormwater run-off or such drainage as roof water, street pavement and surface water caused by natural precipitation or ground water from footing or foundation drains or other subsurface water drainage shall at any time be discharged into or permitted to flow into the sanitary sewer system, which shall be a separate sewer system from the stormwater and surface water run-off sewer system. No sanitary sewage shall at any time be discharged or permitted to flow into the above mentioned storm water, surface and sub-surface sewer system.

**STORM WATER RETENTION** Site storm-water systems shall be designed so that after development, the rate of stormwater run-off onto adjoining property does not exceed the undeveloped runoff for a 10-year storm. The Soil Conservation Service method for runoff and storage calculations shall be acceptable.

## C. SIGNS

As provided in Declaration, signs are considered to be Real Improvements, and as such, must be pre-approved by the DCC as to both design and location. The DCC will ordinarily approve signs which meet the criteria identified below.

Signs are permitted provided that no sign shall be permitted which is not accessory to the business conducted on the property and then only if the following requirements are complied with:

- (1) The height shall not exceed six (6) feet.
- (2) Materials and color should be either the same as those that are used on the building or compatible with them.
- (3) No sign shall be lighted by means of flashing or intermittent illumination.
- (4) Maximum sign size for any building identification is 10 square feet per face per acre of land assuming 2 faces maximum.
- (5) The maximum sign size is 75 square feet per face.

No signs shall be permitted on the building.

OBSTRUCTION OF VISION On a corner lot, within the triangular area formed by the center lines of streets and a line drawn between points on the center lines of each street at distance of ninety (90) feet from the center line of the intersection, there shall be no sign or obstruction of vision.

## D. SITE PLAN APPROVAL

Prior to construction or alteration of any building or improvement on a building lot, two (2) sets of Plans and Specifications for such building or alteration shall be submitted to DCC and written approval of such plan by DCC shall be proof of compliance with these restrictions; provided however, that if the DCC fails to approve or disapprove such plans and specifications within thirty (30) days after such plans have been submitted to it, such approval shall not be required. Site plans shall contain the following information:

The site plans shall be drawn to a scale not greater than one-inch equals fifty (50) feet and shall show the following:

- (1) All lot dimensions.
- (2) Building setback, side line and rear yard distances.
- (3) Location of all proposed buildings.
- (4) Location of off-street parking areas with dimensions showing parking spaces, access drives, traffic circulation and the location and description of any lighting in connection with the parking area. This includes the location and dimensions of all loading and unloading docks and area.
- (5) Location and description of all proposed signs.
- (6) Type of surface paving and curbing, including thickness of pavement.
- (7) All landscaping, fences, walls, or similar facilities to be provided.
- (8) The location of all existing structures within 300 feet of the property.

- (9) Building elevations and the specific types of material to be used in construction.
- (10) Location of Utility easements.

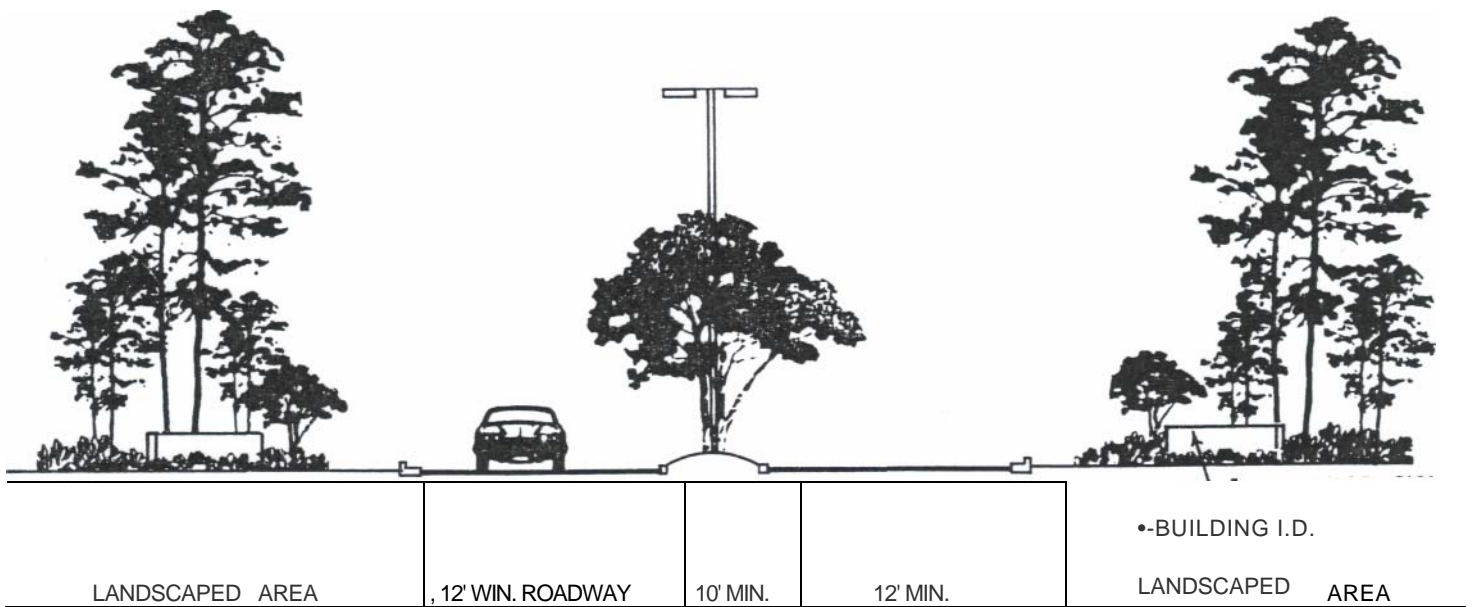
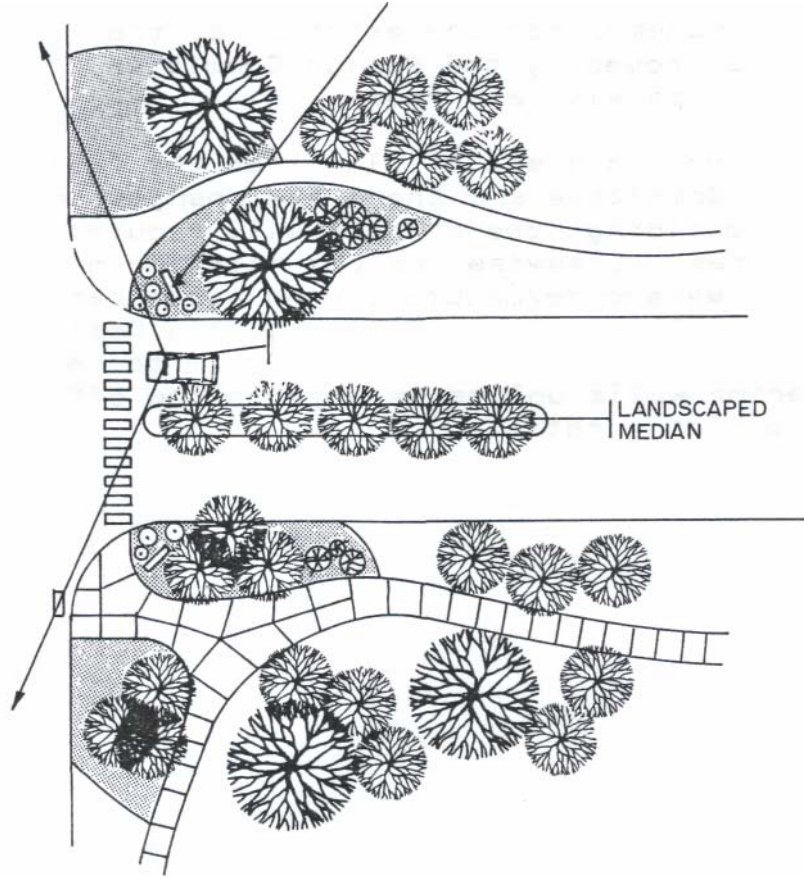
If the site plan is rejected by the DCC, the applicant shall remedy any and all objectionable elements in the plan prior to further consideration.

If plan is rejected after resubmission the applicant may appeal the decision to the full Industrial Development Board. Identified as EXHIBIT A to DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS APPLICABLE TO STOCK CREEK DEVELOPMENT CENTRE ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS OF BLOUNT COUNTY, TENNESSEE

THE BOARD OF COUNTY COMMISSIONERS OF BLOUNT COUNTY, TENNESSEE

BY: \_\_\_\_\_  
Robert J. Davis, County Executive of Blount County, Tennessee.

6' PEDESTRIAN WALKWAY



## **Addendum - #1**

**November 25, 1988**

A. All color schemes for the exterior of the building shall be reviewed and approved by the Design Committee. This will include exterior walls, panels, and roof.

B. After the original set of plans for the facility are approved by the Design Committee and there are changes to the exterior walls of the building, the changes will require advance approval by the Committee. Likewise, on the interior of the building if the office to warehouse/manufacturing space ratio is changed then those changes will require approval of the Design Committee. It is not the intent of the Design Committee to regulate the changes of the interior walls unless it effects the office/research space to overall building ratio.

## **Addendum - # 2**

Amendment to Declaration of Covenants, Conditions, Restrictions, and  
Design Guidelines applicable to Stock Creek Development Centre

**November 18, 2002**

### **SIGNS:**

The phrase "no signs shall be permitted on the buildings" is hereby deleted and the following is inserted in lieu thereof:

The owner of any tract of property may affix a sign to the building upon the following conditions:

1. The sign may not extend more than 18 inches from the wall to which it is affixed.
2. No sign shall extend above the roof line of the structure to which it is affixed.
3. No sign shall be in excess of 70 square feet.
4. No sign shall be lighted by means of flashing or intermittent illumination.
5. The material and color of the sign shall either be the same as those that are used on the building or compatible with them.
6. All signs must be approved by the DCC.